

ARCHITECTURAL PLANS FOR DEVELOPMENT APPLICATION

Project:
Proposed Alterations and Addition

Address:
No.8 MACGREGOR ST., CROYDON

Date:
June 2009

Pages:
6 including cover page

SITE CALCULATIONS

EXISTING SITE AREA = 557.1m²

FLOOR AREA

Existing Residence(Retained) = 83m²
Existing Verandah = 7.5m²
Proposed Total Ground Floor = 164.4m²
Proposed total 1st Floor = 108.5m²
Proposed Deck = 16.8m²
Proposed Garage = 42m²
Total Living Area = 272.9m²

FSR = 0.48:1
SITE COVERAGE = 41%

IMPORTANT NOTES:

- * All materials must be in accordance with Australian Standards
- * All construction must be in accordance with all relative building codes, regulations and Council requirements
- * Workmanship and methods are to be in accordance with good building practice
- * Any item not shown on the plans but which is required for proper construction and or finish is to be carried out as part of the contract
- * Figured dimensions should be taken in preference to scaling off the drawings
- * Dimensions are in millimetres unless otherwise stated
- * Do not scale from drawings but refer to measurements shown on drawings
- * Builder shall check dimensions and levels thoroughly prior the commencement of work
- * No fabrication is to occur direct from measurements taken from the drawings
- * All measurements for the purpose of fabrication and manufacture shall be taken directly from the site as built
- * Levels shown are diagrammatic only and are to be verified on site
- * All concrete footings, piers, slabs and steel structures to be designed and certified by a Structural Engineer
- * Prefabricated roof trusses, wall frames and deep floor joists to be detailed and specified by the manufacturer
- * New storm water drainage must be directed away from the building via suitable drain pipes and deposited or connected to existing storm water drainage in a location as required by Council
- * Waterways and watercourses shall not be altered unless permission is granted by Council
- * Permission must be granted by the Council prior to trees or vegetation removed
- * In the event of excessive excavation, suitable measures are to be carried out to minimize erosion and siltation of the soil

IMPORTANT NOTES FOR STORMWATER DRAINAGE:

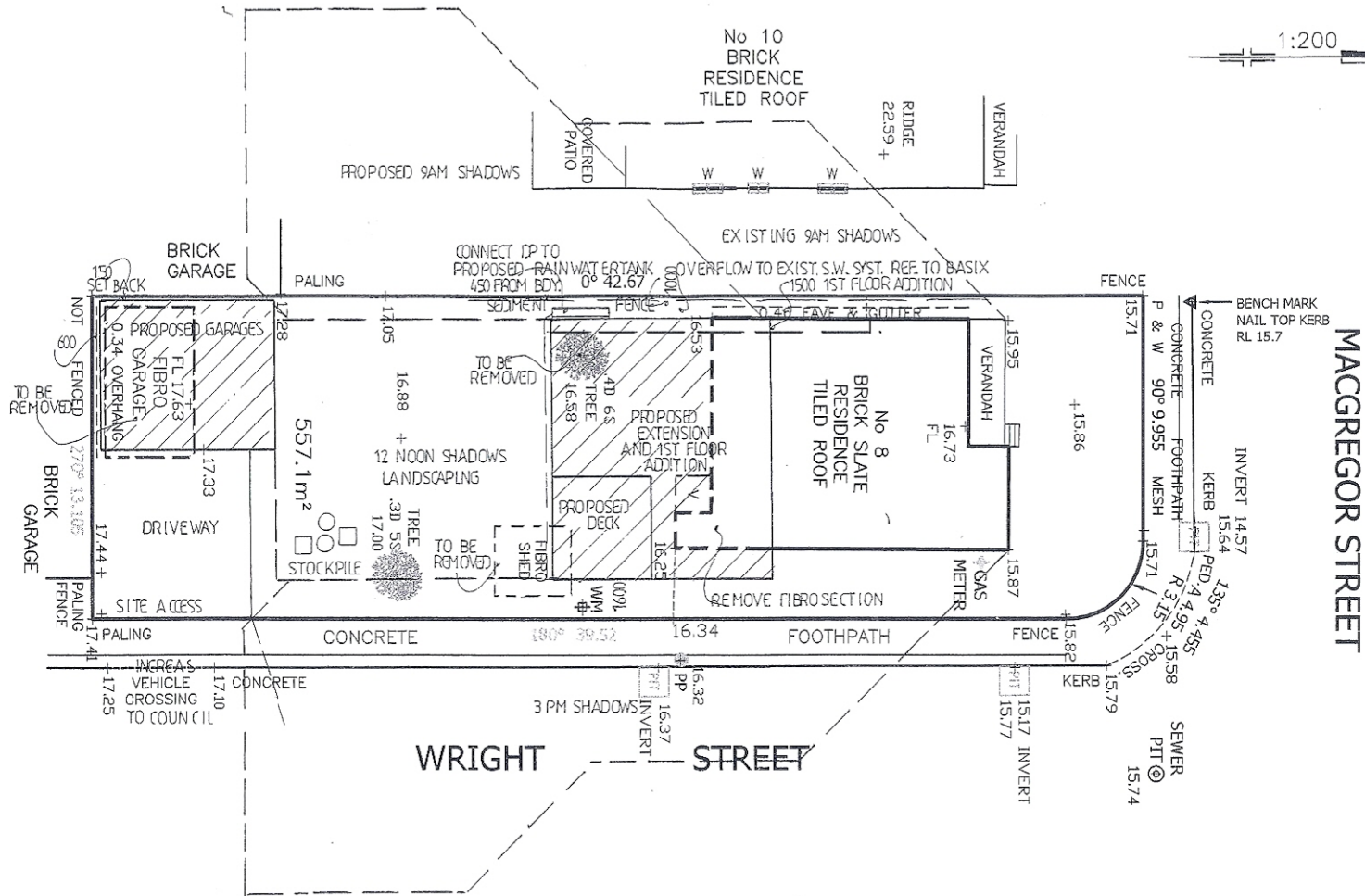
STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH ASA3500 AND TO MEET THE CODE OF STANDARDS REQUIREMENT FOR THE DISCHARGE OF WATER. ROOF STORMWATER TO BE DRAINED TO STREET KERB AND GUTTER OR DRAINAGE EASEMENT TO EXISTING STORMWATER SYSTEMS BY 100mm PVC PIPES @1:80 FALL

ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS WHERE APPLICABLE:

DEMOLITION: AS 2601
CONCRETE SLAB & FOOTING SYSTEM: AS2870
BRICKWORK: AS3700
MORTARS & RENDERS: ASCA27
FORMWORK AS1509/AS1510
TIMBER FRAME: AS1684
TREATED TIMBERS: AS1604
MASONRY: AS 3700
PLASTERBOARD: AS2589
ROOFING: AS1562
ROOF TILES: AS2049 – AS2050
REFLECTIVE FOIL: AS4200
CORRUGATED: AS 2908
GLAZING: AS 1288
SANITARY SER.: AS3500
WATER: AS3500
GAS: AG 601
ELECTRICAL: AS3000
STAIRS: AS1657
FLOORING: AS1782
TIMBER WINDOWS: AS2047
DOORS: AS2688
GARAGE DOOR: AS/NZS 4505
DPC & FLASHINGS: AS2904
STORMWATER: AS3500
HOT WATER SYSTEMS: AS3500
All Hot Water System must be to a minimum 3.5 star rating and meet SEDA's Greenhouse ratings .All bathroom/kitchen taps, showerheads and toilet cisterns must be AAA rated
SMOKE ALARM: AS3786
SUB-FLOORING AS96
FIRE AND SMOKE CONTROLS: AS 1668
WATER PROOFING: AS3740
TILING: AS/NZS9001
INSULATION: AS2627 Roof or ceiling area to be insulated to a R3 rating
TERMITE PROTECTION: AS3660
CHECK FOR THE MOST RECENT BUILDING CODES AT WWW.STANDARDS.COM.AU OR PHONE 1300 308 989

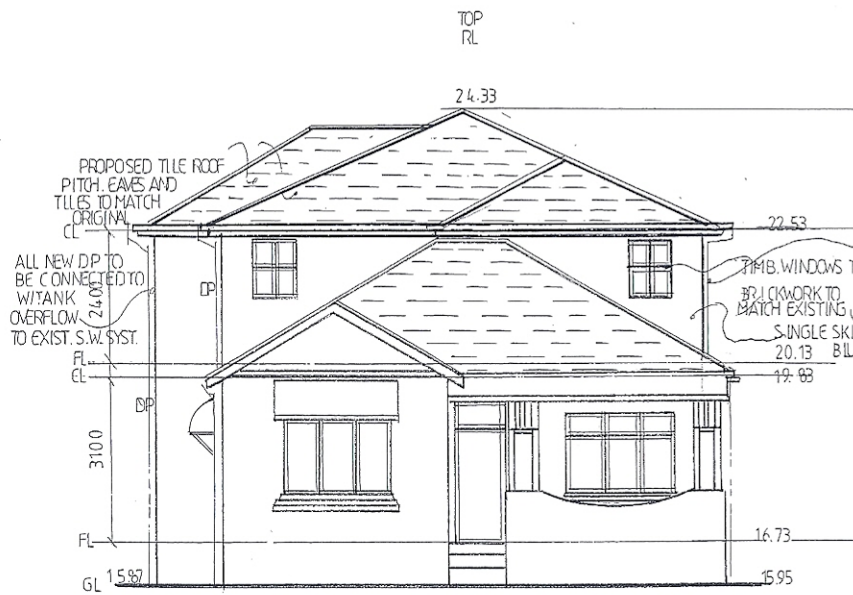
WINDOW SCHEDULE (note that all window sizes are approximate and may have to be corrected to fit openings)

A BI-FOLD SWINGER + 3 WINGED (532) DOOR LEAF= 2100X820 (TOTAL 3280)
B GLASS DOORS 2X820 EACH 620 DOUBLE HUNG SIDES 3X700 HIGH BOTTOM FIXED
C 3X AWNING WINDOWS 1200X450 EACH
D 1X DOUBLE HUNG 2170X1370
E 1X DOUBLE HUNG 970X1800
F 3X CASEMENT 730X944
G 4X DOUBLE HUNG 610X1030
H 4X DOUBLE HUNG 2170X1200



SITE PLAN AND SHADOW DIAGRAMS
AT WINTER SOLTICE

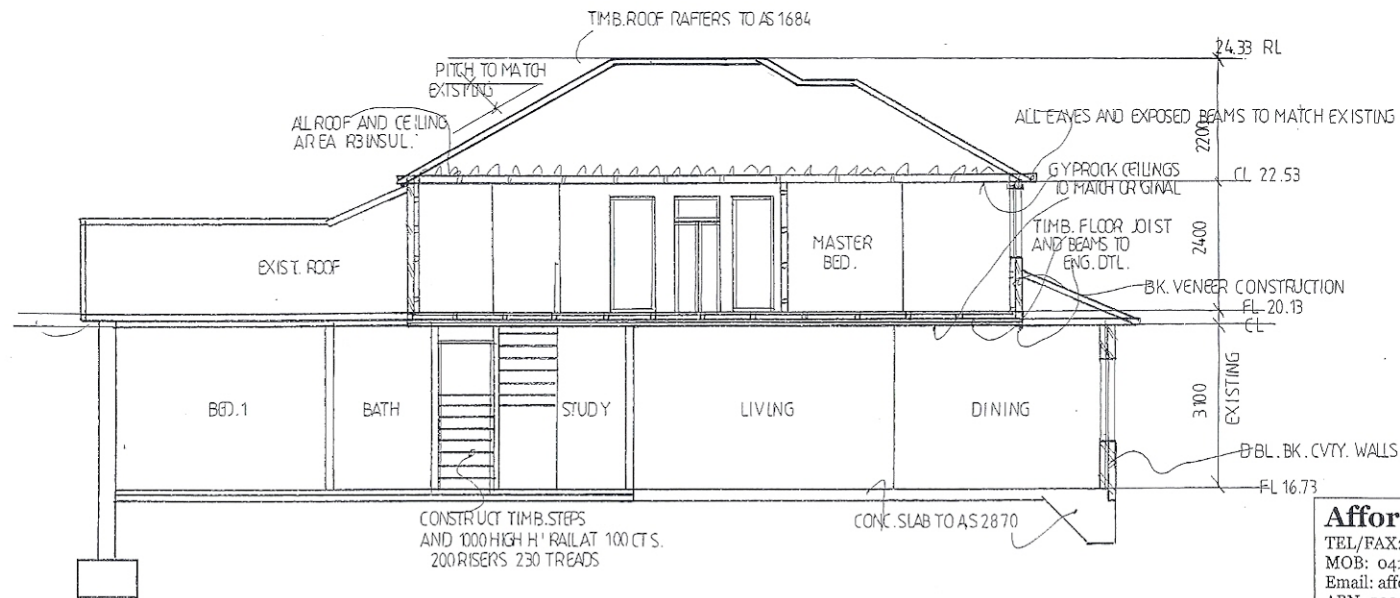
Affordable Plans For Council		
TEL/FAX: (02) 9642 7562		
MOB: 0416 052155		
Email: affordableplans@optusnet.com.au		
ABN: 50311331039		
DATE: JUNE 09	PLAN NO. 809/09	SCALE: 1:100/1:200
DRAW: N.E.B.	CLIENT:	PAGES: 2 OF 6
PROJECT: PROPOSED ALTERATIONS & ADDITION AT NO.8 MACGREGOR STREET, CROYDON		



NORTH ELEVATION



SOUTH ELEVATION



SECTION AA

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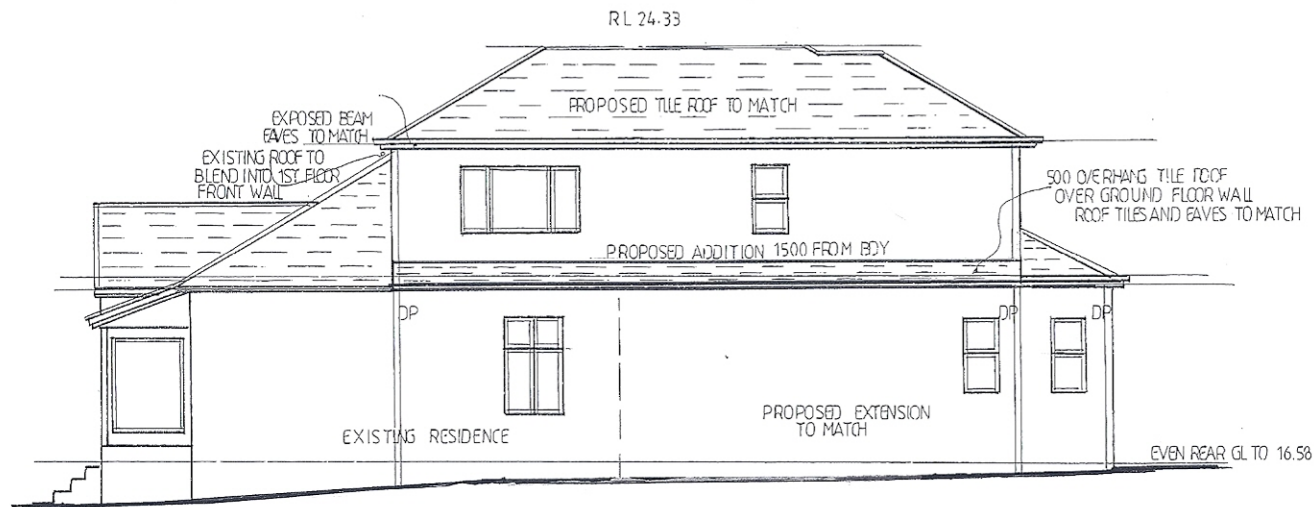
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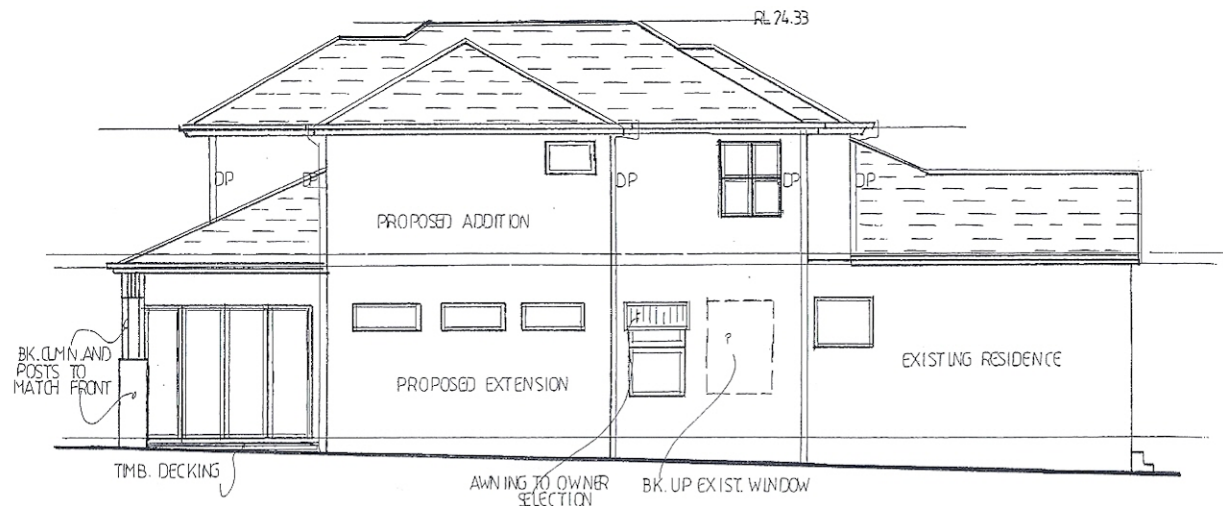
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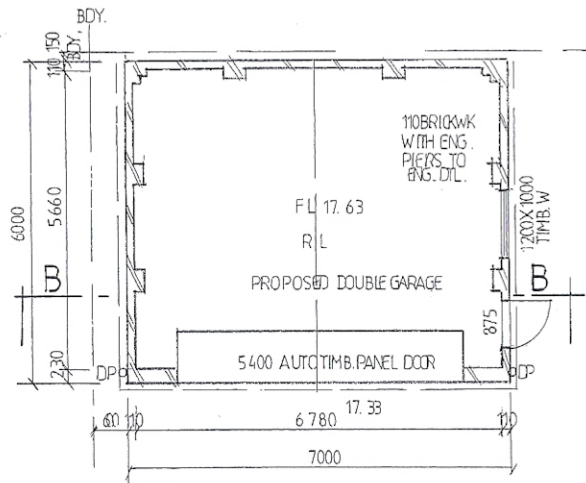
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WEST ELEVATION

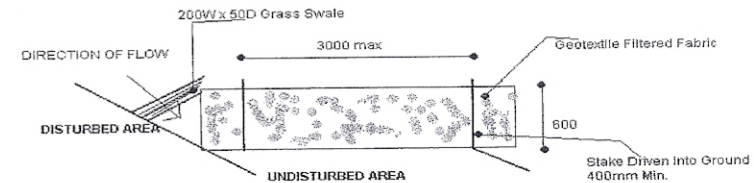


EAST ELEVATION



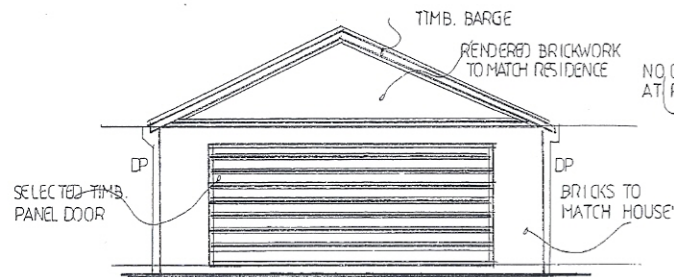
FLOOR PLAN

- All waste generated by new construction will be disposed immediately
- Bin will be available for waste generated.
- All areas and front footpath will be kept clean and clear of construction materials at all times
- All construction materials will be accessed from the existing driveway and kept at the rear of the house.
- All bricks removed from existing house will be reused where possible for new construction. Unusable bricks will be sent to tip.
- Old timber windows, doors and framing will be recycled where possible.
- All fibro material to be removed from the residence are to be disposed according to Australian Standards.
- All contaminated material including fibro asbestos are to be removed and disposed in fibro asbestos bins with care by qualified tradesperson with EPA licence
- Old roof material removed will be sent to tip.
- All areas around the house to be washed off daily and kept clean.
- All erosion and sediment control measure to be inspected and maintained daily by site manager.
- Minimize disturbed area
- All stockpiles to be clear from drains, gutter and footpath.
- Drainage is to be connected to stormwater systems ASAP
- Roads and footpath to be swept daily
- All erosion and sedimentation control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW
- All drainage works shall be constructed and stabilized as early as possible during development
- Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench
- All sediment basins and traps shall be cleaned when the structures are a maximum of 80% full of soil materials, including the maintenance period
- All disturbed areas shall be revegetated as soon as the relevant works are completed
- Soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate
- Filter shall be constructed by stretching a filter fabric (Propex or Approved Equivalent) between post at 0.3m centres. Fabric shall be buried 150mm along its lower edge

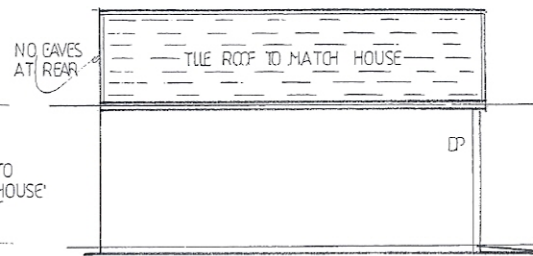


SEDIMENT CONTROL FENCE

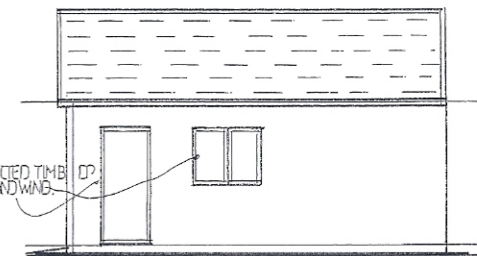
NOT TO SCALE



EAST ELEVATION



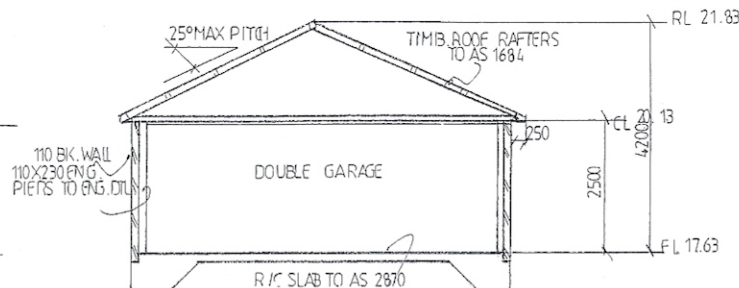
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



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